VICINITY MAP

County Of San Diego Tract TM # 5585 (RPL 1) LONE OAK RANCH 1. TOTAL ROTS SITE AREA TOTAL ROTS SITE AREA MINIS RUFN (1- GROSS SITE AREA MINIS RUFN (1- GROSS SITE AREA MINIS RUFN



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•	F

PROPOSED PUBLIC SEWER MAIN WITH MANHOLE -S ← A. SEWER FLOW DIRECTION (8" PVC UNLESS OTHERWISE NOTED) EXISTING PUBLIC SEWER MAIN WITH MANHOLE PROPOSED PUBLIC WATER MAIN WITH FIRE HYDRANT (8" UNLESS OTHERWISE NOTED)

EXISTING PUBLIC WATER MAIN WITH FIRE HYDRANT PROPOSED CENTERLINE STREET ELEVATION

PROPOSED SPOT ELEVATION

PROPOSED CONTOURS

EXISTING CONTOURS

LEGEND

PROJECT BOUNDARY

PROPOSED LOT LINE

PROPOSED EASEMENT LINE

PROPOSED CUT SLOPE W/ SLOPE GRADIENT (2: 1 MAX) PROPOSED FILL SLOPE W/ SLOPE GRADIENT (2: 1 MAX)

LIMITS OF PROPOSED GRADING EARTHEN SWALE

PROPOSED CONCRETE BROW DITCH

PROPOSED % OF STREET CENTERLINE GRADE EXISTING STREET LIGHT

EXISTING BROW DITCH

PROPOSED STORM DRAIN SYSTEM A. INLET OR CATCH BASIN B. CLEANOUT C. HEADWALL WITH RIPRAP EXISTING STORM DRAIN SYSTEM

PROPOSED RETAINING WALL

TITLE REPORT ITEM NO. (SEE SHEET C6)

PROPOSED LOT NUMBER WITH PAD ELEVATION

RPO LIMITS

NOISE RESTRICTION EASEMENT

ACCESS RIGHTS RELINQUISHED

SOURCE OF TOPOGRAPHY

AERIAL TOPOGRAPHY: R. J. LUNG & ASSOCIATES 2382 WALNUT AVENUE, SUITE E TUSTIN, CA 92780 (714) 832-2077

CONTOUR INTERVALS: 1 AND 5 FEET

BENCHMARK DESC: FD 2" IRON PIPE LS 5453 LOC: VISTA 2058 (4030)

RECORD FROM: RECORD OF SURVEY 14023 ELEV: 551.59 DATUM: NGVD 29

DEC, 17, 2013

FP	FLOOD PLAIN	
VC	VERTICAL CURVE	
MH	MANHOLE	
RCP	REINFORCED CONCRETE PIPE	
SD	STORM DRAIN	
NTS	NOT TO SCALE	
ELEV	ELEVATION	3//
FL	FLOW LINE	/3/_
TW	TOP OF WALL	
FS	FINISH SURFACE	
STD.	STANDARD	
S	SEWER	
W	WATER	
RW	RECLAIMED WATER	////
ΙE	INVERT ELEVATION	<u> </u>
R/W	RIGHT OF WAY	
PL	PROPERTY LINE	
GB	GRADE BREAK	
PΙ	POINT OF INTERSECTION (V.C.)	
FF	FINISH FLOOR ELEVATION	
P	PAD ELEVATION	
SF	GROSS SQ. FT.	
P.O.C.	POINT OF CONNECTION	

PRUPUSED LUI DATA

T LOT	PAD
EA (SF)*	ELEVATION
1,396	542.0
0,418	545.3
0,514	545.8
1,793	546.3
8,154	546.8
9,668	547.1
7,863	548.0
0,893	550.0
9,663	549.5
9,625	548.5
1,220	547.5
3,509	549.0
3,397	552.4
9,315	558.7
9,156	561.6
0,704	562.0
1,680	562.4
6,192	561.7
6,140	561.3
5,642	558.3
4,297	553.8
3,955	549.1
2,889	547.2
4,696	546.8
92,779	-
6.72	-
3,397	-
8,154	-
2,199	-
	L PRIVATE ST.
	ESS ESMT. LOT
	STING ST.
	D DEDICATION
	STING ST.
PROPOSE	D DEDICATION
HOA OI	PEN SPACE
WTR QU	AL/BASIN LOT
WTR QU	AL/BASIN LOT
	PEN SPACE
. 10/ (0)	
Al	ND MAY B

POWER POLE NOTE

TYPE L (CA) UTILITY POLE OBJECT MARKERS SHALL BE INSTALLED ON EXISTING AND RELOCATED POWER POLES ALONG EXISTING LONE OAK ROAD AND SHALL BE VISIBLE AT NIGHT IN THE FORM OF THREE YELLOW RETROREFLECTIVE BANDS (PER FIG. 2C-13(CA) OF THE 2014 CA MUTCD)

KEY MAP

SPECIAL ASSESSMENT ACT STATEMENT

A REQUEST TO THE BOARD OF SUPERVISORS FOR PERMISSION TO INITIATE PROCEEDINGS UNDER THE SPECIAL ASSESSMENT ACT FOR CONSTRUCTION OF ANY SUBDIVISION IMPROVEMENTS IS NOT BEING MADE AT THIS TIME.

PARK LAND DEDICATION STATEMENT

PURSUANT TO CHAPTER 1 OF DIVISION 10 OF TITLE 8 OF THE SAN DIEGO COUNTY CODE, THE SUBDIVIDER SHALL PAY PARK IN LIEU FEES.

SOLAR ACCESS STATEMENT

THIS IS A SOLAR SUBDIVISION AS REQUIRED BY SECTION 81.401 (M) OF THE COUNTY OF SAN DIEGO SUBDIVISION ORDINANCE. ALL RESIDENTIAL UNITS WITHIN THIS SUBDIVISION SHALL HAVE A MINIMUM OF 100 SQUARE FEET OF UNOBSTRUCTED SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT ALLOWED BY THIS SUBDIVISION.

LEGAL DESCRIPTION

SEE SHEET 6 FOR FULL LEGAL DESCRIPTION

EASEMENT LEGEND

SEE SHEET 6 FOR EASEMENT AND TITLE INFORMATION - TITLE INFORMATION IS BASED ON PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY AS ORDER NO. 00013489-996-U50 DATED JANUARY 26, 2015.

PUBLIC UTILITIES AND DISTRICTS

GAS & ELECTRICSAN DIEGO GAS & ELECTRIC CO.
WATER DISTRICT
SEWER BUENA SANITATION DISTRICT
POLICECOUNTY SHERIFFS DEPARTMENT
SCHOOLSVISTA UNIFIED SCHOOL DISTRICT
FIREVISTA FIRE PROTECTION DISTRICT

EARTHWORK / GRADING QUANTITIES TOTAL RAW EARTHWORK VOLUME

AMOUNT OF CUT: <u>29,110</u> CUBIC YARDS.

AMOUNT OF FILL: 28,679 CUBIC YARDS. TOTAL REMEDIAL GRADING VOLUME

AMOUNT OF CUT: <u>73,850</u> CUBIC YARDS. AMOUNT OF FILL: <u>73,850</u> CUBIC YARDS.

1. TOTAL CORRECTIVE GRADING VOLUME WILL BALANCE AT FINAL ENGINEERING. (GEOTECHNICAL INFORMATION PROVIDED BY GEOCON, INC.) 2. EARTHWORK QUANTITIES BASED ON ADJUSTMENT MADE TO EARTHWORK

EXISTING ZONING

14)

PVT. DR. "B"

APN NO.		184-080-01/181-162-06
USE REGULATIONS		RR/A70
ANIMAL	REGS	J/M
	DENSITY	-/-
_	LOT SIZE	0.5 AC./0.5 AC.
Σ. Σ.	BUILDING TYPE	C/C
₹ 6	MAX FLOOR AREA	-/-
DEVELOPMENT REGULATIONS	FLOOR AREA RATIO	-/-
15 E	HEIGHT	G/G
DE REG	LOT COVERAGE	-/-
"	SETBACK	G/C
	OPEN SPACE	-/-
SPECIA	L AREA REGULATIONS	-/-

SHEET INDEX

CIVIL SHT. C9

TITLE SHEET CIVIL SHT. C1 CIVIL SHT. C2 DETAILS / EXEMPTION REQUESTS PROJECT DESIGN CIVIL SHT. C3 CIVIL SHT. C4 PROJECT DESIGN

CIVIL SHT. C5 EXISTING TOPOGRAPHY & BOUNDARY RECORD BOUNDARY & ENCUMBRANCES CIVIL SHT. C6 CIVIL SHT. C7 SITE PLAN/PLOTTING DESIGN SITE PLAN/PLOTTING DESIGN CIVIL SHT. C8

FIRE HYDRANTS & STREET LIGHTS

1. TOTAL EXISTING GROSS SITE AREA: 14.15 ACRES 12.58 ACRES (= GROSS SITE AREA MINUS BUENA CREEK RD. & LONE OAK RD. = 1.57 AC)

2. TOTAL NUMBER OF LOTS: PVT. ST. & ACCESS LOTS (LOTS 25 & 26): HOA OS LOTS (LOTS 27,28, 29 & 30) AVERAGE NET LOT SIZE: MINIMUM NET LOT SIZE:

TOTAL NUMBER OF RESIDENTIAL UNITS: 24 SINGLE FAMILY ASSESSOR'S PARCEL NUMBERS: 184-080-01 & 181-162-06

EXISTING GENERAL PLAN REGIONAL CATEGORY: VILLAGE EXISTING GENERAL PLAN LAND USE DESIGNATION: VR-2 (VILLAGE RESIDENTIAL 2) EXISTING/PROPOSED ZONING: PARCEL 184-080-01 ZONED RR (RURAL RESIDENTIAL) PARCEL 181-162-06 ZONED A70 (LIMITED AGRICULTURE)

SEE ZONING BOX THIS SHEET GROSS DENSITY: 1.7 DU/AC (24 DU'S/14.15 AC., NET DENSITY: 1.9 DU/AC (24 DU'S/12.58 AC.

EXISTING USE: SINGLE FAMILY RESIDENCE AND STORAGE SHEDS 10. PROPOSED USE: SINGLE FAMILY RESIDENTIAL 11. TAX RATE AREA: 96036

12. THOMAS BROTHERS COORDINATES: 1108 D2 13. COMMUNITY PLANNING AREA/SUBREGION: NORTH COUNTY METRO

14. CONSERVATION/GROUP OPEN SPACE: 25% = SUM OF OS LOTS 27 & 30 DIVIDED BY TOTAL NET SITE AREA (= SUM OF LOTS 27 & 30 = 136,964 SF/ TOTAL NET SITE AREA = 547,849 SF)

GENERAL DESIGN NOTES

NO PUBLIC STREETS ARE PROPOSED WITH THIS PROJECT

A PROPOSED PRIVATE ROAD MAINTENANCE AGREEMENT MODIFIED TO INCORPORATE A PRIVATE DRAINAGE MAINTENANCE AGREEMENT PER SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES SECTION 81.402(c)(1) & SECTION 81.703(c)(1) TO INCLUDE THE FOLLOWING: A. ROAD MAINTENANCE-ONSITE FOR PVT. DR. A & PVT. DR. B

B. DRAINAGE MAINTENANCE-ALL COMMON DRAINAGE STRUCTURES MUTUALLY BENEFITING THE

3. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. EASEMENTS SHALL BE PROVIDED AND/OR

REMOVED AS NECESSARY PER THE APPROPRIATE DISTRICTS.

CONTOUR INTERVALS: 1 & 5 FEET.

MANUFACTURED SLOPE RATIOS SHALL BE VARIABLE (2:1 MAX). FINISHED GRADES ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE AT FINAL ENGINEERING AND

SHALL BE CONSISTENT WITH THE COUNTY'S SUBSTANTIAL CONFORMANCE GUIDELINES. PRELIMINARY GEOTECHNICAL INVESTIGATION INFORMATION WAS OBTAINED FROM THE

PRELIMINARY GEOTECHNICAL REPORT PREPARED BY: ADVANCED GEOTECHNICAL SOLUTIONS, INC DATED 03-21-14 (REVISED 09-23-14), REPORT # 1309-08-B-2.

ALL BROW DITCHES SHALL BE SIZED AND BUILT PER THE APPROVED FINAL GRADING PLAN & HYDROLOGY REPORT.

STREET DESIGN, LANDSCAPING AND FIRE HYDRANTS SHALL CONFORM TO THE COUNTY DESIGN STANDARDS AND AS REQUIRED BY THE COUNTY ENGINEER.

THE SUBDIVIDER/DEVELOPER SHALL PROVIDE AND INSTALL APPROVED STREET LIGHT STANDARDS AND FIXTURES IN THE TYPE AND NUMBER APPROVED BY THE COUNTY OF SAN DIEGO AND THE PUBLIC

11. PURSUANT TO CHAPTER 1 OF DIVISION 10 OF TITLE 8 OF THE SAN DIEGO COUNTY CODE, THE SUBDIVIDER SHALL PAY PARK IN-LEU FEES IF NECESSARY.

12. AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ALL OCCUPANCIES.

13. ALL EXISTING UTILITIES TO BE PLACED UNDERGROUND PER SUBDIVISION ORDINANCE SECTION

81.404(A)(7), UNLESS UNDERGROUNDING WAIVED PER REQUEST NOTED ON SHEET C2, #3.

LAND DIVISION STATEMENT

I HEREBY CERTIFY THAT I AM THE RECORD OWNER. AS SHOWN ON THE LATEST EQUALIZED COUNTY ASSESSMENT OF THE PROPERTY SHOWN ON THE TENTATIVE MAP. ALL OF MY CONTIGUOUS OWNERSHIP WITHIN AND BEYOND THE BOUNDARIES OF THE TENTATIVE MAP IS SHOWN. I UNDERSTAND THAT PROPERTY IS CONSIDERED AS CONTIGUOUS EVEN IF SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROAD RIGHTS-OF-WAY. "FREEWAY" AS DEFINED IN SECT.23.5 OF THE STREETS AND HIGHWAYS CODE, SHALL NOT BE CONSIDERED AS ROADS AND STREETS. I CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT

EXECUTED THIS 10TH DAY OF OCTOBER, 2015, AT SAN DIEGO COUNTY, CALIFORNIA.

OWNER SUBDIVIDER

GH2,LLC A CALIFORNIA LIMITED LIABILITY COMPANY 1530 INDUSTRIAL AVENUE

ESCONDIDO, CA. 92029 (760) 745-1776

DAN PAUL, REPRESENTATIVE

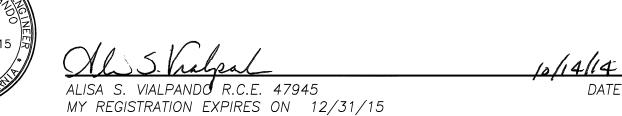
(858) 755-3350

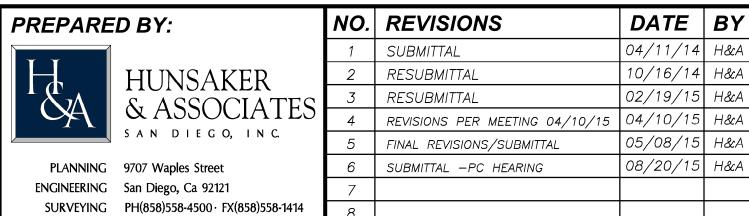
MARKER LONE OAK, LLC

SOLANA BEACH, CA

10-10-14

427 SOUTH CEDROS AVENUE, SUITE 201





TENTATIVE MAP TM # 5585 (RPL1) LONE OAK RANCH

COUNTY OF SAN DIEGO, CALIFORNIA

C9

SHEET

ENV LOG #: ER-14-08-006

30' ACCESS & UTILITY ESMT. (VARIABLE WIDTH & LOCATION) VAR. EXIST. A.C PAVEMENT AND

EXISTING CLEVELAND TRAIL

PRIVATE DRIVE 30' ACCESS & UTILITY ESMT.* 24' PVT. ACCESS ROAD ** (VARIABLE WIDTI

& LOCATION) VAR. ADD A.C. PAVEMENT-AND BASE PAVEMENT AND BASE AND BASE

DITCH TO CATCH BASIN TRANSITION

5.5' G.U.E.— PROPERTY LINE-

BACK OF STANDARD-

STANDARD RAISED 6" CURB-

6" RAISED CURB

PVT. DRIVE CENTERLINE

SWALE

PROPOSED CLEVELAND TRAIL

PRIVATE ACCESS ROAD

- 1. 30' OFFSITE ACCESS & UTILITY EASEMENT TO BE OBTAINED FOR OFFSITE PORTION OF CLEVELAND TRAIL
- EXTENDING TO BUENA CREEK ROAD.

-EARTHERN SWALE

-TOP OF GRADED SLOPE

TOE OF GRADED SLOPE

(TYP.)

-PROPERTY LINE

-FENCE LINE

* SEE EXCEPTION REQUEST #1 THIS SHEET. * SEE EXCEPTION REQUEST #7 THIS SHEET.



CENTERLINE

EXISTING A.C. PVMT. & BASE

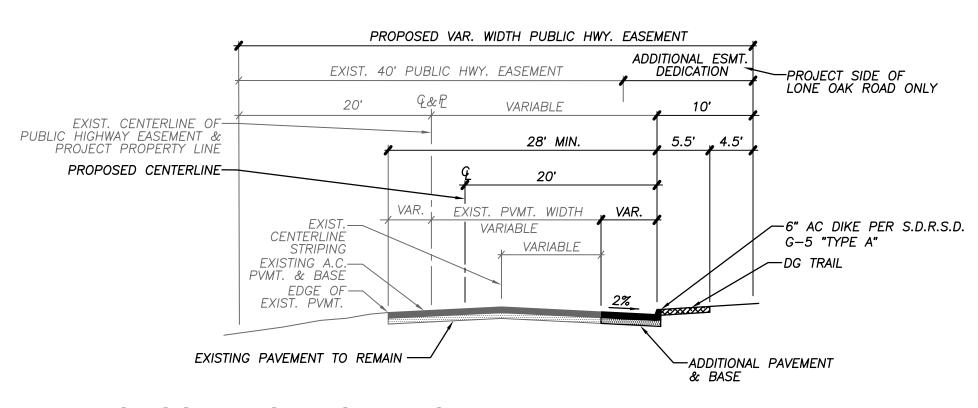
EDGE OF-EXIST. PVMT.

EXISTING LONE OAK ROAD

NON-MOBILITY ELEMENT RESIDENTIAL COLLECTOR 30 MPH DESIGN SPEED NO POSTED SPEED

EXIST. CENTERLINE OF

PUBLIC HIGHWAY EASEMENT & PROJECT PROPERTY LINE



PROPOSED LONE OAK ROAD

NON-MOBILITY ELEMENT RESIDENTIAL COLLECTOR 30 MPH DESIGN SPEED NO POSTED SPEED

County Of San Diego Tract TM # 5585 (RPL 1)

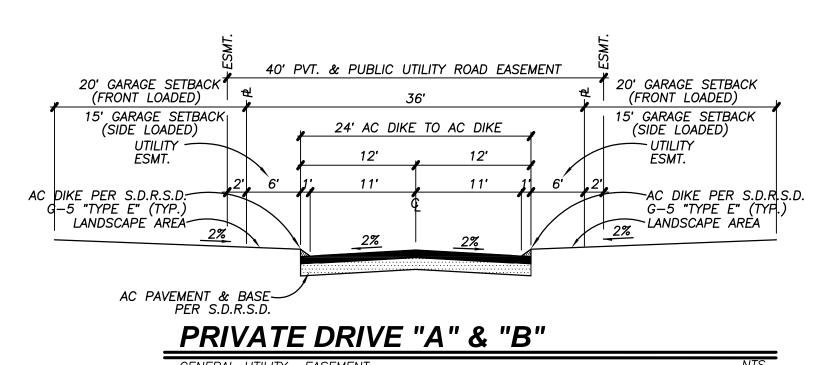
SUBDIVISION ORDINANCE

STANDARDS FOR PRIVATE ROADS

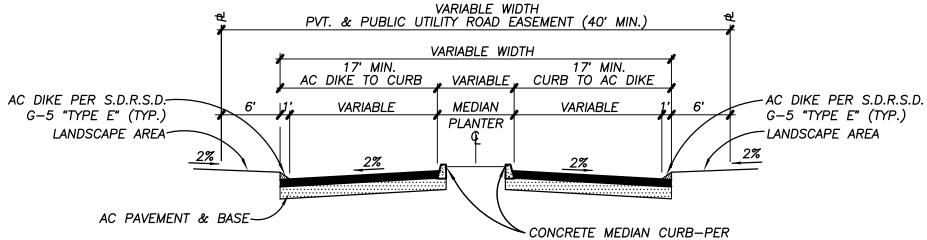
UNDERGROUNDING & SIGHT DISTANCE

constructed to the minimum standards: ...)

speed of the respective road classification)



1. PROPOSED PRIVATE DRIVE TO BE DEDICATED AS PUBLIC SEWER EASEMENT TO THE BUENA SANITATION DISTRICT.



PRIVATE DRIVE "A" (AT ENTRY)

1. PROPOSED PRIVATE DRIVE TO BE DEDICATED AS PUBLIC SEWER EASEMENT TO THE BUENA SANITATION DISTRICT.

EXIST. PVMT. WIDTH

VARIABLE

VARIABLE

S.D.R.S.D. G-6 (TYPE B-1)

40'-60' PUBLIC HWY. EASEMENT 20' OR 40' A.C. PVMT. AND BASE VARIABLE *VARIABLE*

EXCEPTION REQUESTS (COUNTY STANDARD SHOWN IN PARENTHESIS)

or future connection to another public road or another subdivision.)

1. EXCEPTION REQUEST FOR A REDUCTION TO PRIVATE ROAD EASEMENT WIDTH FOR CLEVELAND

2. EXCEPTION REQUEST FOR A REDUCTION TO PRIVATE ROAD IMPROVEMENT WIDTH IN THE

Roads, Section 3.1(c) Where no dedications, offers of dedications, or

VICINITY OF THE CONCRETE DIP SECTION ON CLEVELAND TRAIL. (Stds. for Private

3. EXCEPTION REQUEST FOR UNDERGROUNDING OF OVERHEAD UTILITIES FOR A PORTION OF THE

EXCEPTION REQUEST TO THE PUBLIC ROAD STANDARDS TO ALLOW THE REQUIRED SIGHT

DISTANCE FOR THE INTERSECTIONS OF LONE OAK ROAD AND BUENA CREEK ROAD TO BE BASED

ASSHTO POLICY ON DESIGN OF HIGHWAYS AND STREETS. (Stds. Per County of San Diego

Public Roads Standards Table 5, the minimum sight distance requirement shall be

based upon "the greater of the current prevailing speed and the minimum design

UPON STOPPING SIGHT DISTANCE RATHER THAN CORNER SIGHT DISTANCE AS APPROVED BY

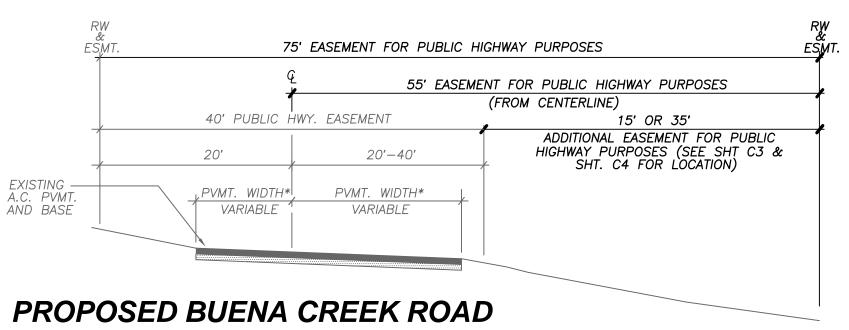
PROPOSED PROJECT (Stds. Pursuant to Board of Supervisors Policy 1-92)

irrevocable offers of dedication are required, the roads shall be designed and

TRAIL. (Subdivision Ordinance, 81.402(a)(2) Private road easements at least 40 feet wide in

accordance with the San Diego County Standards for Private Roads, if the Director DPW determines the roads will ultimately serve no more than an estimated 100 ADT or will not feasibly provide a current

40 MPH DESIGN SPEED 20 MPH POSTED SPEED (WESTBOUND @ LONE OAK ROAD) OR 35 MPH POSTED SPEED (WESTBOUND @ CLEVELAND TRAIL)



20 MPH POSTED SPEED (WESTBOUND @ LONE OAK ROAD) OR 35 MPH POSTED SPEED (WESTBOUND @ CLEVELAND TRAIL) * EXISTING BUENA CREEK ROAD PAVEMENT TO BE MAINTAINED. NO ADDITIONAL GRADING OR PAVEMENT IS PROPOSED FOR BUENA CREEK ROAD FOR THE ENTIRE PROJECT FRONTAGE.

DETAILS

PREPARED BY:



& ASSOCIATES ENGINEERING San Diego, Ca 92121

TENTATIVE MAP TM # 5585 (RPL1)

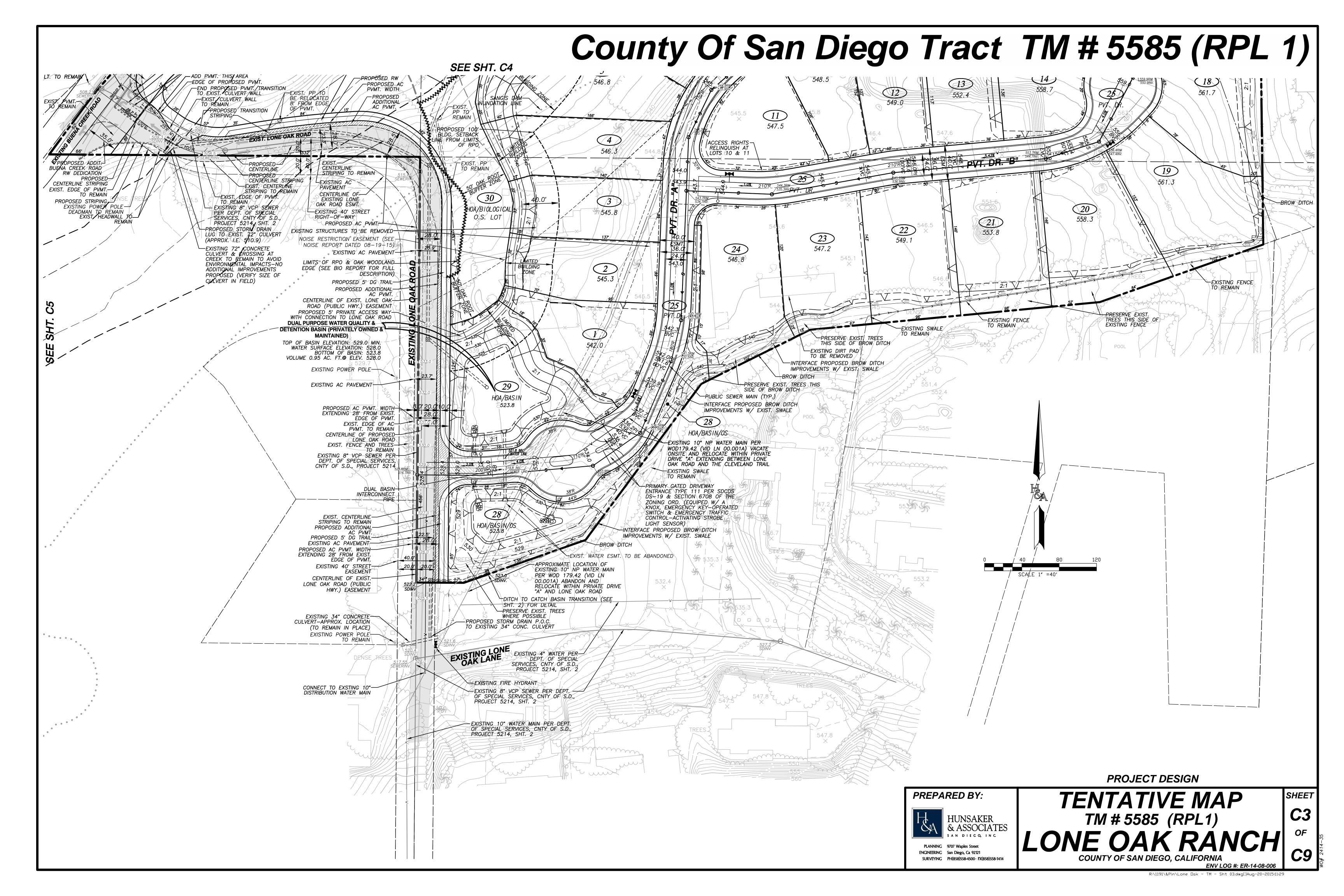
SHEET

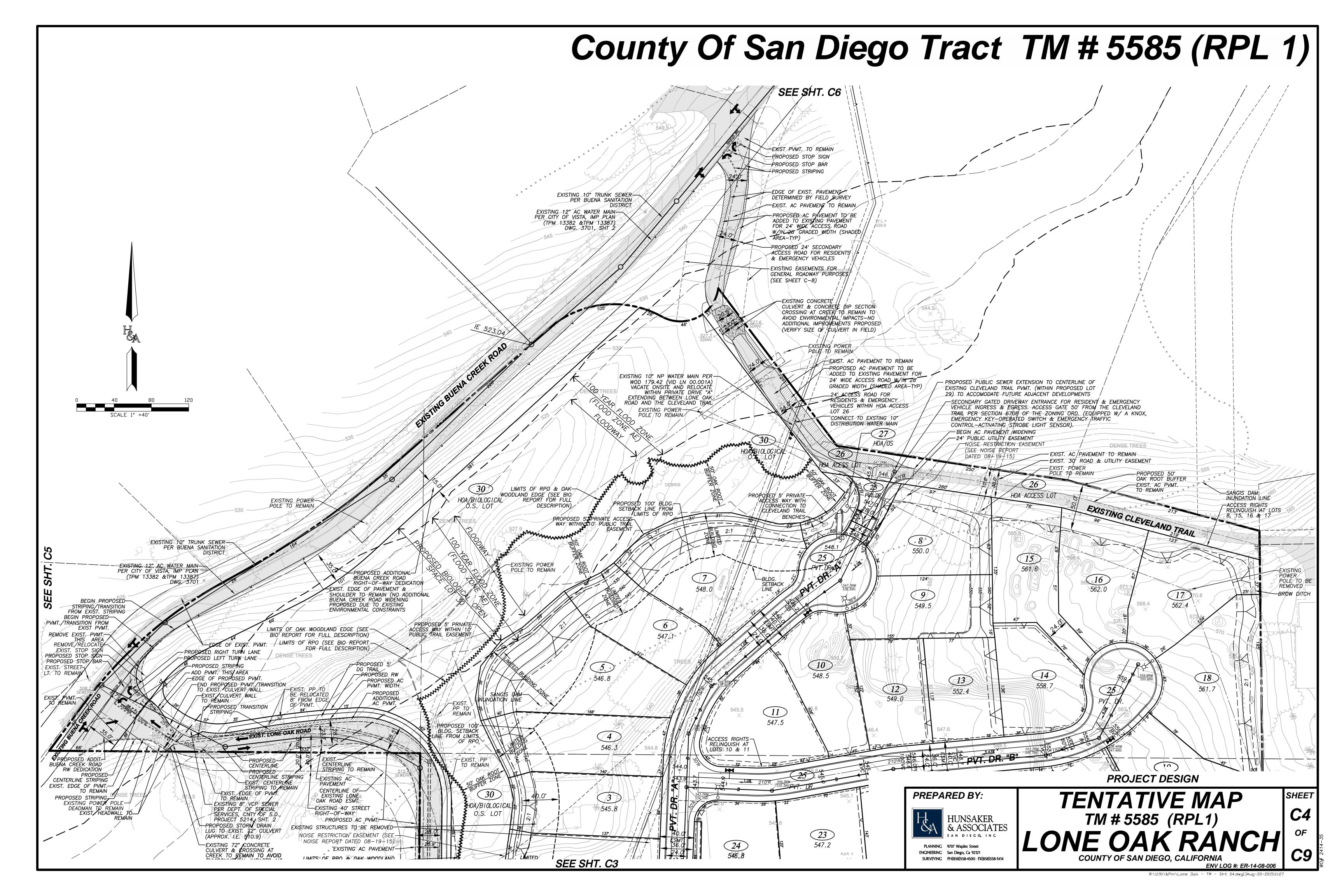
1. OPTIONAL USE OF AREA DRAINS WITH SWALES 2. SEE SHEET C9 FOR TYPICAL LOT BUILDING SETBACK DETAIL

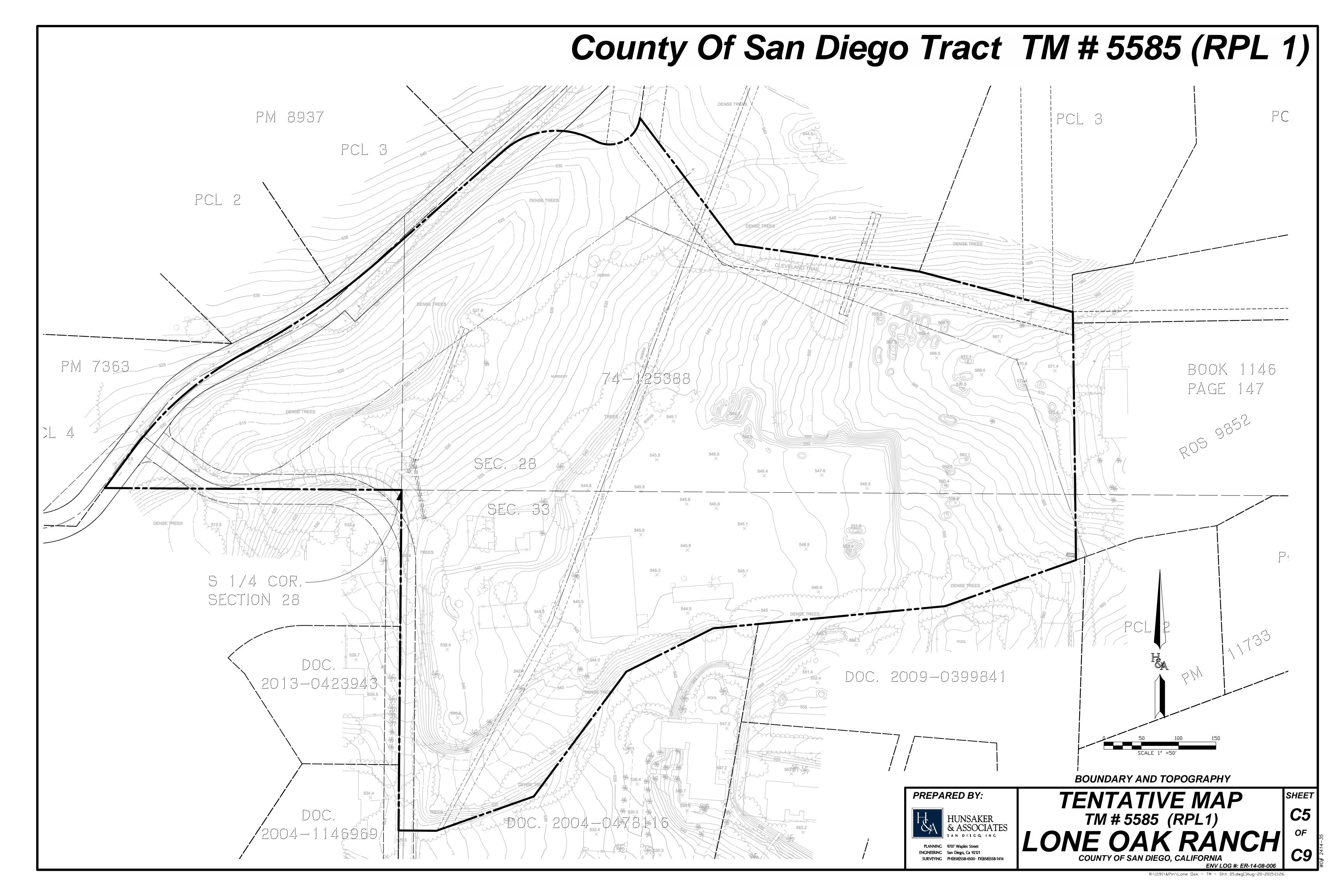
TYPICAL LOT DRAINAGE

EXISTING BUENA CREEK ROAD MOBILITY ELEMENT MAJOR ROAD

SURVEYING PH(858)558-4500 · FX(858)558-1414







TITLE REPORT:

BASED ON A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY AS ORDER NO. 00013489-996-U50 DATED MARCH 13, 2015.

LEGAL DESCRIPTION:

THE PROPERTY DESCRIBED IN CERTIFICATE OF COMPLIANCE RECORDED MAY 14, 1974 AS FILE NO. 74-125388, BEING THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, AND SOUTHEAST QUARTER OF SOUTHWEST QUARTER OF SECTION 28, AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 33. TOWNSHIP 11 SOUTH. RANGE 3 WEST, SAN BERNARDINO MERIDIAN. IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS

BEGINNING AT THE TRUE QUARTER CORNER COMMON TO SAID SECTIONS 28 AND 33 AS SAME IS SHOWN ON LICENSED SURVEYOR'S MAP NO. 371 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY: THENCE SOUTH 0°09' EAST ALONG THE NORTH AND SOUTH CENTER LINE OF SAID SECTION 33, A DISTANCE OF 456.40 FEET: THENCE NORTH 89°50'20" EAST 50 FEET: THENCE NORTH 70°02'30" EAST 138.33 FEET: THENCE NORTH 36°00' EAST 208.00 FEET; THENCE NORTH 62°59' EAST 130.12 FEET; THENCE NORTH 84°00' EAST 312.09 FEET; THENCE NORTH 70°02'30" EAST 185.99 FEET TO THE SOUTHWEST CORNER OF THAT PARCEL OF LAND CONVEYED BY BENJAMIN E. NEEDHAM, ET UX, TO DANIEL D. MACK, ET UX, BY DEED RECORDED FEBRUARY 21 1941, IN BOOK 1146, PAGE 147 OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY; THENCE NORTH 1°18'50" WEST ALONG THE WEST LINE OF LAND SO CONVEYED 332.12 FEET, THENCE NORTH 75°57'10" WEST 212.49 FEET; THENCE NORTH 81°29' WEST 249.67 FEET; THENCE NORTH 37°27'30" WEST 214.12 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF LAND CONVEYED TO HUGH EVANS AND COMPANY, A CORPORATION, TO LEE S. TWOMEY, ET UX, DATED OCTOBER 8, 1930 AND RECORDED IN BOOK 1801, PAGE 394 OF DEEDS, SAID POINT BEING DESIGNATED HEREIN AS POINT "B" AND BEING THE BEGINNING OF A CURVE CONCAVE TO THE NORTHWEST WHOSE RADIUS THROUGH SAID POINT OF BEGINNING BEARS NORTH 83°01'50" WEST: THENCE FOLLOWING THE SOUTHEASTERLY LINE OF SAID TWOMEY LAND SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 111°27' AND A RADIUS OF 40.89 FEET TO AN ARC DISTANCE OF 79.54 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE CONCAVE TO THE SOUTH: THENCE WESTERLY ALONG SAID CURVE, CENTRAL ANGLE 70°20' AND RADIUS 106.43 FEET; AN ARC DISTANCE OF 130.67 FEET THENCE TANGENT TO SAID CURVE SOUTH 48°05'10" WEST 220.50 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE NORTHWEST; THENCE WESTERLY ALONG SAID CURVE, CENTRAL ANGLE 12°20' AND RADIUS 925.53 FEET, AN ARC DISTANCE OF 199.23 FEET; THENCE TANGENT TO SAID CURVE SOUTH 60°25'10" WEST 25.80 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 458.93 FEET AND A CENTRAL ANGLE OF 24°35'10"; THENCE SOUTHWESTERLY ALONG SAID CURVE 197.02 FEET TO THE END THEREOF: THENCE SOUTH 35°50' WEST TO INTERSECT WITH THE TRUE SOUTH LINE OF SAID SECTION 28, AS SHOWN ON SAID LICENSED SURVEYOR'S MAP NO. 371; THENCE LEAVING THE SOUTHEASTERLY LINE OF SAID TOWMEY'S LAND AND RUNNING ALONG SAID TRUE SOUTH LINE OF SAID SECTION 28, NORTH 89°50'20" EAST TO THE TRUE SOUTH QUARTER CORNER OF SAID SECTION 28 AS SHOWN ON LICENSED SURVEYOR'S MAP NO. 371 AND THE TRUE POINT OF BEGINNING.

APN: 184-080-01 & 181-162-06

AN EASEMENT AND RIGHT OF WAY FOR ROAD PURPOSES AS GRANTED IN THAT CERTAIN GRANT DEED RECORDED FEBRUARY 28, 1942 IN BOOK 1315, PAGE 134 OFFICIAL RECORDS, TO BE USED IN COMMON WITH OTHERS, OVER AND ACROSS THAT PORTION OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 11 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

A STRIP OF LAND OF THE UNIFORM WIDTH OF THIRTY FEET, LYING EASTERLY FROM AND ADJOINING THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 28, AS SHOWN ON LICENSED SURVEYORS MAP NO. 371. ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY:

RUNNING THENCE NORTH 89°50'20" EAST ALONG THE TRUE SECTION LINE 902.45 FEET; THENCE NORTH 1°17'50" WEST 244.31 FEET: THENCE NORTH 75°59'10" WEST 212.49 FEET: THENCE NORTH 81°29' WEST 249.67 FEET: THENCE NORTH 37°27'30" WEST 214.12 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF LAND DESCRIBED IN DEED TO LEE S. TWOMEY ET UX RECORDED IN BOOK 1801, PAGE 394 OF DEEDS. AND THE TRUE POINT OF BEGINNING; THENCE NORTH 6°58'10" EAST 40 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ALONG SAID CURVE, CENTRAL ANGLE 20°46'30" RADIUS 545.53 FEET, AN ARC DISTANCE OF 197.80 FEET TO A POINT IN THE COUNTY ROAD (ROAD SURVEY 404).

SAID THIRTY FOOT STRIP TO HAVE THE EASTERLY SIDE EXTENDED ON THE NORTH END TO AN INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF THE COUNTY ROAD AND EXTENDED ON THE SOUTH AND TO AN INTERSECTION WITH A COURSE BEARING SOUTH 37°27'30" EAST FROM THE TRUE POINT OF BEGINNING.

AN NON-EXCLUSIVE EASEMENT FOR GENERAL ROAD PURPOSES INCLUDING ROADWAY IMPROVEMENTS AND ANY STORM WATER DEVICES, VEHICULAR AND PEDESTRIAN ACCESS, INGRESS, EGRESS, GRADING, SIGNAGE, LANDSCAPING, IRRIGATION, EROSION CONTROL, AND THE INSTALLATION OF ANY AND ALL WET AND DRY UTILITIES SERVICES AND LINES INCLUDING, WITHOUT LIMITATION, WATER, TELEVISION, ELECTRIC, CABLE, SEWER, RECLAIMED WATER, AND/OR NATURAL GAS ON. OVER. UNDER AND THROUGH THAT PORTION OF PARCEL 4 OF PARCEL MAP NO. 8937. IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 19, 1979, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID PARCEL 4; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL 4, NORTH 48°39'24" EAST, 32.88 FEET (NORTH 48°05'10" EAST, 33.03 FEET RECORD PER SAID PARCEL MAP 8937) TO THE BEGINNING OF A 106.43 FOOT RADIUS CURVE CONCAVE SOUTHERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 7020'00". A DISTANCE OF 130.65 FEET TO THE BEGINNING OF A REVERSE 40.89 FOOT RADIUS CURVE CONCAVE NORTHERLY, A RADIAL LINE TO SAID POINT BEARS SOUTH 28°59'24" WEST; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 22°41150"I A DISTANCE OF 16.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID SOUTHEASTERLY LINE NORTH 07°32'24" EAST, 80.88 FEET TO THE BEGINNING OF A 585.53 FOOT RADIUS CURVE CONCAVE EASTERLY; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 1453'08", A DISTANCE OF 152.12 FEET.

EXCEPTING THEREFROM ANY PORTION LYING NORTHERLY OF THE SOUTHEASTERLY SIDELINE OF BUENA CREEK

SAID EASEMENT WAS GRANTED BY DEED RECORDED MARCH 12, 2015 AS INSTRUMENT NO. 2015-0114777 OFFICIAL RECORDS.

ENCUMBRANCES:

THE FOLLOWING IS A LIST OF EXCEPTIONS PER A PRELIMINARY TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY PER ORDER NUMBER 00013489-996-U50 DATED MARCH 13, 2015.

PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2014 - 2015

1ST INSTALLMENT: \$1,781.86 (PAID)

2ND INSTALLMENT: \$1,781.86

PENALTY AND COST: \$188.18 (DUE AFTER APRIL 10)

CODE AREA:. 96036

ASSESSORS PARCEL NUMBER:. 181-162-06

PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2014 - 2015

1ST INSTALLMENT: \$2,266.17 (PAID)

2ND INSTALLMENT: \$2,266.17 PENALTY AND COST: \$236.61 (DUE AFTER APRIL 10)

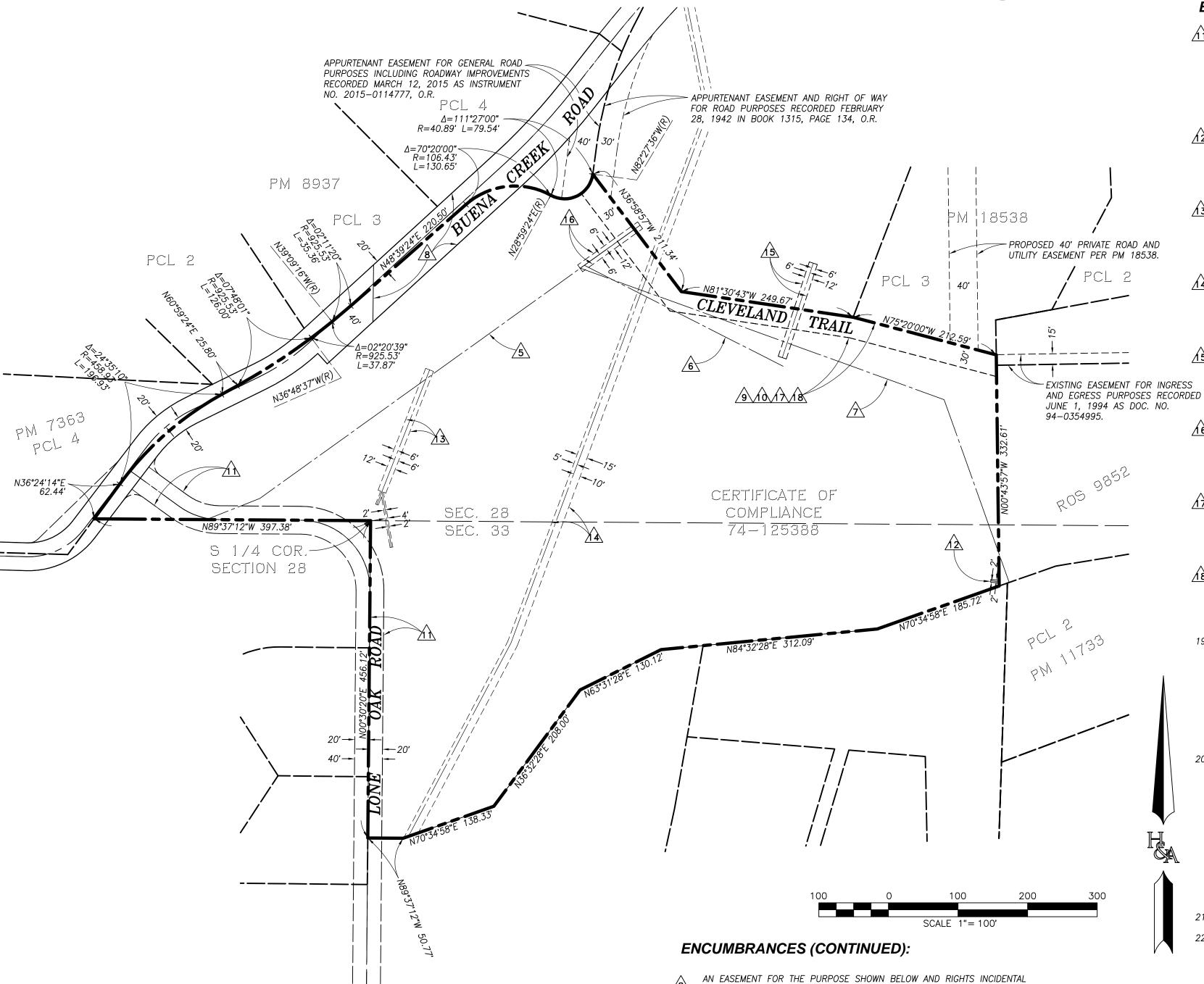
96036 CODE AREA:.

ASSESSORS PARCEL NUMBER:. 184-080-01

2. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF PART 0.5. CHAPTER 3.5 OR PART 2. CHAPTER 3. ARTICLES 3 AND 4 RESPECTIVELY (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A; OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

3. THE RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE HEREIN DESCRIBED LAND LYING WITHIN ROAD SURVEY 404.

County Of San Diego Tract TM # 5585 (RPL 1)



MAINTENANCE THEREOF

PURPOSE:

GRANTED TO: COUNTY OF SAN DIEGO

RECORDS

THERETO AS SET FORTH IN A DOCUMENT.

THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: VISTA IRRIGATION DISTRICT

GRANTED TO: D. D. MACK AND EDITH M. MACK

OFFICIAL RECORDS

OFFICIAL RECORDS

PUBLIC HIGHWAY

ROAD SURVEY 404

MAY 2, 1940 IN BOOK 1021, PAGE 309 OF OFFICIAL

FEBRUARY 28, 1942 IN BOOK 1312, PAGE 245 OF

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND

AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

FEBRUARY 28, 1942 IN BOOK 1305, PAGE 428 OF

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND

AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

SAID INSTRUMENT ADDITIONALLY CONTAINS THE PRIVILEGE AND RIGHT TO

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL

BEYOND THE LIMITS WHERE REQUIRED FOR THE CONSTRUCTION AND

ROAD AND PIPE LINE PURPOSES

EXTEND DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES

ENCUMBRANCES (CONTINUED):

4. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY

PUBLIC UTILITIES, INGRESS, EGRESS

RECORDED: MARCH 9, 1916 IN BOOK 701, PAGE 478 OF DEEDS

THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH $\sqrt{5}$ IN A DOCUMENT.

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY

PUBLIC UTILITIES, INGRESS, EGRESS RECORDED: FEBRUARY 5, 1936 IN BOOK 466, PAGE 322 OF OFFICIAL RECORDS

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY

6 IN A DOCUMENT.

PUBLIC UTILITIES, INGRESS, EGRESS JULY 6, 1937 IN BOOK 664, PAGE 216 OF OFFICIAL RECORDS RECORDED:

DESCRIBED IN SAID DOCUMENT.

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH $\sqrt{7}$ IN A DOCUMENT.

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY

PUBLIC UTILITIES, INGRESS, EGRESS MAY 11, 1938 IN BOOK 774, PAGE 310 OF OFFICIAL RECORDS

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

COUNTY OF SAN DIEGO PUBLIC HIGHWAY

JUNE 30, 1947 IN BOOK 2436, PAGE 211 AS INSTRUMENT NO. 67504 OF OFFICIAL RECORDS ROAD SURVEY NO. 1090

SAID INSTRUMENT ADDITIONALLY CONTAINS THE PRIVILEGE AND RIGHT TO EXTEND DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE THEREOF

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY PUBLIC UTILITIES, INGRESS, EGRESS

MAY 31, 1955 IN BOOK 5661, PAGE 368 OF OFFICIAL RECORDS THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION

PUBLIC UTILITIES, INGRESS, EGRESS NOVEMBER 5, 1974 AS INSTRUMENT NO. 74-293412 OF OFFICIAL RECORDS THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: VISTA IRRIGATION DISTRICT

PURPOSE: MARCH 4. 1982 AS INSTRUMENT NO. 82-59631 OF OFFICIAL RECORDS

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION

PUBLIC UTILITIES, INGRESS, EGRESS JUNE 30, 1982 AS INSTRUMENT NO. 82-203079 OF OFFICIAL RECORDS

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION

PUBLIC UTILITIES, INGRESS, EGRESS

SEPTEMBER 5, 1990 AS INSTRUMENT NO. 90-484676 OF OFFICIAL RECORDS THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.

GRANTED TO: REX E. CHRISTENSEN, SR., ET AL

INGRESS AND EGRESS FOR ROAD AND WATER PIPELINE, ROAD AND PIPELINE JUNE 1. 1994 AS INSTRUMENT NO. 94-0354995 OF OFFICIAL RECORDS

THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. DAVID G. LEESE AND ROSEMARY LEESE, HUSBAND AND WIFE, AS JOINT TENANTS

ROAD PURPOSES AND PUBLIC UTILITIES FEBRUARY 5, 1998 AS INSTRUMENT NO. 98-0060319 OF OFFICIAL RECORDS THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

19. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE ORIGINAL AMOUNT SHOWN BELOW.

\$430,000.00 DATED:

JUNE 18, 1999 DANIEL PAUL AND ILEANA D. PAUL, HUSBAND AND WIFE

CHICAGO TITLE COMPANY, A CALIFORNIA CORPORATION DOROTHY JEAN LANGLEY AND DOROTHY V. TAYLOR, CO-TRUSTEES OF THE PAUL S. TAYLOR AND DOROTHY V.

TAYLOR TRUST, DATED APRIL 7, 1976, AS RESTATED ON APRIL 30, 1997 LOAN NUMBER NOT SHOWN

SEPTEMBER 9, 1999 AS INSTRUMENT NO. 99-0619300 OF OFFICIAL RECORDS

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE ORIGINAL AMOUNT SHOWN BELOW.

JANUARY 28, 2002 DANIEL PAUL, AND ILEANA D. PAUL, HUSBAND AND WIFE AS JOINT TENANTS

RANCHO SANTA FE NATIONAL BANK, A NATIONAL BANKING ASSOCIATION **BENEFICIARY:** RANCHO SANTA FE NATIONAL BANK

FEBRUARY 5, 2002 AS INSTRUMENT NO. 2002-0097237 OF OFFICIAL RECORDS RECORDED:

AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED.

EXECUTED BY: GH 2, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND PACIFIC WESTERN BANK

RECORDED: MARCH 26, 2013 AS INSTRUMENT NO. 2013-0190074 OF OFFICIAL RECORDS

INTENTIONALLY OMITTED.

TRUSTFF

A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE ORIGINAL AMOUNT SHOWN BELOW.

AMOUNT: **\$**306,359.43

AUGUST 27, 2013 GH 2, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

TRUSTEF: REGENTS BANK, N. A. BENEFICIARY: REGENTS BANK, N. A.

LOAN NUMBER: NOT SHOWN AUGUST 29, 2013 AS INSTRUMENT NO. 2013-0538963 OF OFFICIAL RECORDS RECORDED:

AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED.

MARCH 28, 2014 AS INSTRUMENT NO. 2014-0122643 OFFICIAL RECORDS

AN ASSIGNMENT OF ALL THE MONIES DUE, OR TO BECOME DUE AS RENT, AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST.

ASSIGNED TO: REGENTS BANK N.A. BY ASSIGNMENT RECORDED: AUGUST 29, 2013 AS INSTRUMENT NO. 2013-0538964 OF OFFICIAL RECORDS

24. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT" RECORDED AUGUST 29, 2013 AS INSTRUMENT NO. 2013-0538965 OF OFFICIAL RECORDS.

25. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

COVERAGE EXCEPTIONS AND/OR ADDITIONAL EXCEPTIONS TO COVERAGE.

MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/ACSM LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THIS COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

THIS OFFICE MUST BE NOTIFIED AT LEAST 7 BUSINESS DAYS PRIOR TO THE SCHEDULED CLOSING IN ORDER TO ARRANGE FOR AN INSPECTION OF THE LAND; UPON COMPLETION OF THIS INSPECTION YOU WILL BE NOTIFIED OF THE REMOVAL OF SPECIFIC

27. ANY RIGHTS OF PARTIES IN POSSESSION OF SAID LAND, BASED ON ANY UNRECORDED LEASE, OR LEASES.

THIS COMPANY WILL REQUIRE A FULL COPY OF ANY UNRECORDED LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS,

EXISTING BOUNDARY AND ENCUMBRANCES

PREPARED BY:

HUNSAKER

ENGINEERING San Diego, Ca 92121 SURVEYING PH(858)558-4500 · FX(858)558-1414

TENTATIVE MAP TM # 5585 (RPL1)

ENV LOG #: ER-14-08-006

